

## Part 2 – Technical Requirements

Application under the *Agricultural Operation Practices Act* for a confined feeding operation, manure collection area, and/or manure storage facility(ies)


<b>NRCB USE ONLY</b>	Application number	Legal land description
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Registration <input type="checkbox"/> Authorization <input type="checkbox"/> Amendment	RA24046	Sec. 6-47-9 W4M

### APPLICATION DISCLOSURE

This information is collected under the authority of the *Agricultural Operation Practices Act (AOPA)*, and is subject to the provisions of the *Freedom of Information and Protection of Privacy Act*. This information is public unless the NRCB grants a written request that certain sections remain private.

**Any construction prior to obtaining an NRCB permit is an offence and is subject to enforcement action, including prosecution.**

I, the applicant, or applicant's agent, have read and understand the statements above, and I acknowledge that the information provided in this application is true to the best of my knowledge.

Date of signing <u>January 7/2025</u>	Signature 
Corporate name (if applicable) <u>Hutterian Brethren Church of Holt</u>	Print name <u>Jake L Tschetter</u>

### GENERAL INFORMATION REQUIREMENTS

**Proposed facilities:** list all proposed confined feeding operation facilities and their dimensions. Indicate whether any of the proposed facilities are additions to existing facilities. (attach additional pages if needed)

Proposed facilities	Dimensions (m) (length, width, and depth)
<u>New Layer Barn</u> (Layer barn #2)	<u>100 - 300 Ft</u>
The layer barn is 232'.6' x 111'.6' (70.9 m x34 m)	
There is an L-shaped ancillary facility in the front of the barn 77'4" x 111'6' (23.6 m x 34 m)	

**Existing facilities:** list ALL existing confined feeding operation facilities and their dimensions

Existing facilities	Dimensions (m) (length, width, and depth)	NRCB USE ONLY
<u>New Feedlot</u>	<u>244 X 92</u>	All existing CFO facilities confirmed
<u>Catch Basin</u>	<u>50 X 50 X 2</u>	

**NRCB USE ONLY**

Existing multi-species CFO permitted under Approval RA23016





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If a new facility is replacing an old facility, please explain what will happen to the old facility and when.  N/A

Construction completion date for proposed facilities Nov 30/2028

### Additional information

**Livestock numbers:** Complete only if livestock numbers are different from what was identified in the Part 1 application. Note: if livestock numbers increase in your Part 2 application, a new Part 1 application must be submitted which may result in a loss of priority for minimum distance separation (MDS).

Livestock category and type (Available in the Schedule 2 of the Part 2 Matters Regulation)	Permitted number	Proposed increase or decrease in number (if applicable)	Total
Information from Part 1 application			
Beef finishers	1,500	0	1,500
Milking cows (plus dries and replacements)	130	0	130
Sows - Farrow to finish	400	0	400
Chicken layers	5,000	15,000	20,000
Chicken broilers	9,275	0	9,275
Turkeys	1,300	0	1,300
Ducks	1,200	0	1,200
Geese	300	0	300



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## DECLARATION AND ACKNOWLEDGMENT OF APPLICANT CONCERNING WATER ACT LICENCE

issued by Alberta Environment and Protected Areas (EPA) for a confined feeding operation (CFO)

*Date and sign one of the following four options*

### **OPTION 1: Applying through the NRCB for both the AOPA permit and the Water Act licence**

I **DO** want my water licence application coupled to my AOPA permit application.

Signed this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
*Signature of Applicant or Agent*

### **OPTION 2: Processing the AOPA permit and Water Act licence separately**

1. I (we) acknowledge that the CFO will need a new water licence from EPA under the *Water Act* for the development or activity proposed in this AOPA application.
2. I (we) request that the NRCB process the AOPA application **independently of** EPA's processing of the CFO's application for a water licence.
3. In making this request, I (we) recognize that, if this AOPA application is granted by the NRCB, the NRCB's decision will not be considered by EPA as improving or enhancing the CFO's eligibility for a water licence under the *Water Act*.
4. I (we) acknowledge that any construction or actions to populate the CFO with livestock pursuant to an AOPA permit in the absence of a *Water Act* licence will **not** be relevant to EPA's consideration of whether to grant the *Water Act* licence application.
5. I (we) acknowledge that any such construction or livestock populating will be at the CFO's sole risk if the *Water Act* licence application is denied or if the operation of the CFO is otherwise deemed to be in violation of the *Water Act*. This risk includes being required to depopulate the CFO and/or to cease further construction, or to remove "works" or "undertakings" (as defined in the *Water Act*).
6. **AS RELEVANT:** I (we) acknowledge that the CFO is located in the South Saskatchewan River Basin and that, pursuant to the *Bow, Oldman and South Saskatchewan River Basin Water Allocation Order* [Alta. Reg. 171/2007], this basin is currently closed to new surface water allocations.
7. **Provide:** Water licence application number(s) \_\_\_\_\_

Signed this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
*Signature of Applicant or Agent*

### **OPTION 3: Additional water licence not required**

1. I (we) declare that the CFO will not need a new licence from EPA under the *Water Act* for the development or activity proposed in this AOPA application.
2. **Provide:** Water license number(s) or water conveyance agreement details \_\_\_\_\_

Signed this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
*Signature of Applicant or Agent*



# Part 2 – Technical Requirements

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## **OPTION 4: Uncertain if Water Act licence is needed; acknowledgement of risk (for existing CFOs only)**

1. At this time, I (we) do not know whether a new water licence is needed from EPA under the *Water Act* for the development or activity proposed in this AOPA application.
2. If a new *Water Act* licence is needed, I (we) request that the NRCB process the AOPA application **independently of** EPA's processing of the CFO's application for a water licence.
3. In making this request, I (we) recognize that, if this AOPA application is granted by the NRCB, the NRCB's decision will not be considered by EPA as improving or enhancing the CFO's eligibility for a water licence under the *Water Act*.
4. I (we) acknowledge that any construction or actions to populate the CFO with additional livestock pursuant to an AOPA permit in the absence of a *Water Act* licence will **not** be relevant to EPA's consideration of whether to grant my *Water Act* licence application, if a new water licence is needed.
5. I (we) acknowledge that any such construction or livestock increase will be at the CFO's sole risk if the *Water Act* licence application is denied or if the operation of the CFO is otherwise deemed to be in violation of the *Water Act*. This risk includes being required to depopulate the CFO and/or to cease further construction, or to remove "works" or "undertakings" (as defined in the *Water Act*).
6. **AS RELEVANT:** I (we) acknowledge that the CFO is located in the South Saskatchewan River Basin and that, pursuant to the *Bow, Oldman and South Saskatchewan River Basin Water Allocation Order* [Alta. Reg. 171/2007], this basin is currently closed to new surface water allocations.
7. **Provide:** Water license number(s) or water conveyance agreement details \_\_\_\_\_

Signed this 7 day of January, 2025.

  
Signature of Applicant or Agent





- NOTES CONCERNING BUILDING LOCATION**
- ENGINEER IS TO BE ADVISED BEFORE START OF CONSTRUCTION OF ANY UNKNOWN FEATURES ON THIS OR THE ADJACENT SITE THAT MIGHT IMPACT ON THE PROJECT EITHER DURING CONSTRUCTION OR FUTURE USE.
  - THE "NORTH" ORIENTATION REFERS TO NOMINAL NORTH RATHER THAN TRUE OR MAGNETIC NORTH.
  - ANY DIMENSIONS THAT SHOW THE LOCATION OF EXISTING FEATURES ARE APPROXIMATE ONLY AND ARE TO BE CONFIRMED BEFORE CONSTRUCTION START AS REQUIRED BY A CERTIFIED LAND SURVEYOR.
  - LANDSCAPING IS SUBJECT TO CHANGE.

**BYLAW INFORMATION**

DESIGNED FOR RESIDENTIAL USE, AGRICULTURE, EXTENSIVE SETBACKS

FRONT YARD SETBACKS  
REQUIRED 4.0m FROM ROAD CENTRE LINE

REAR YARD SETBACKS  
REQUIRED 4.0m

SIDE YARD SETBACKS  
REQUIRED 4.0m

SIDE YARD INVESTS  
REQUIRED 4.0m

**SITE PLAN LEGEND**

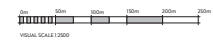
PROPOSED FENCE	---
DETACH LINE	---
RIGHT OF WAY LINE	---
EXISTING OR PROPOSED DRIVE	---
PROPOSED BUILDING	---
EXISTING DOOR	---
FENCE	---
HARD FLOOR	---
OVERHEAD DOOR	---
EXTERIOR TREE	---
ULTRAVIOLET	---

**SITE SCHEDULE**

ON SITE	105.9 m <sup>2</sup>	2,527.24 m <sup>2</sup>
ASPHEN	15.0 m <sup>2</sup>	60.50 m <sup>2</sup>
SIDEWALK	258.7 m <sup>2</sup>	2,784.74 m <sup>2</sup>
GRAND TOTAL	258.7 m <sup>2</sup>	2,784.74 m <sup>2</sup>

**SITE MATERIAL LEGEND**

ASPHEN	---
SIDEWALK	---
LIGHT DUTY ASPHALT	---
HEAVY DUTY ASPHALT	---
GRAVEL	---
LANDSCAPING	---
HARD LANDSCAPING	---
HSE/EN	---



Architect

Stamp

**PRELIMINARY**  
NOT FOR CONSTRUCTION

aggregate  
design studio ltd.  
**EAGLE BUILDERS**

Holt Colony  
Free Run Layer Barn  
M.D. of Wainwright, Alberta  
01-06-47-09 W4

PROJECT NO.	A24694
DATE	2024-10-18 10:52:23 AM
DRAWN BY	JC
CHECKED BY	JC
SHEET NAME	

Site Plan

**A102**

## Part 2 – Technical Requirements

Application under the Agricultural Operation Practices Act for a confined feeding operation, manure collection area, and/or manure storage facility(ies)

### GENERAL ENVIRONMENTAL INFORMATION

(complete this section for the worst case of the existing facility which is the closest to water bodies or water wells and for each of the proposed facilities)

Facility description / name (as indicated on site plan)

Existing: Dairy Barn

Proposed 1: Layer Barn #2

Proposed 2: \_\_\_\_\_

Proposed 3: \_\_\_\_\_

Facility and environmental risk information		Facilities				NRCB USE ONLY	
		Existing	Proposed 1	Proposed 2	Proposed 3	Meets requirements	Comments
Flood plain information	What is the elevation of the floor of the lowest manure storage or collection facility above the 1:25 year flood plain or the highest known flood level?	<input checked="" type="checkbox"/> >1 m <input type="checkbox"/> ≤ 1 m	<input checked="" type="checkbox"/> >1 m <input type="checkbox"/> ≤ 1 m	<input type="checkbox"/> >1 m <input type="checkbox"/> ≤ 1 m	<input type="checkbox"/> > 1 m <input type="checkbox"/> ≤ 1 m	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES with exemption	> 1 m above floodplain
	Surface water information						
	How many springs are within 100 m of the manure storage facility or manure collection area?	0	0			<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES with exemption	No springs observed during site visits
	How many water wells are within 100 m of the manure storage facility or manure collection area?	2 Water Wells	0			<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES with exemption	No WWs located within 100 m of the proposed layer barn
	What is the shortest distance from the manure collection or storage facility to a surface water body? (e.g., lake, creek, slough, seasonal)	1,000 M	1,000 M			<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES with exemption	There is a slough of the applicant's property located 120 m from the layer barn.
Groundwater information	What is the depth to the water table?		More than 2 Metre			<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES with exemption	Water table identified at more than 3 m
	What is the depth to the groundwater resource/aquifer you draw water from?	18.6 M	18.6 M			<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES with exemption	UGR identified at 18.6 m in WW ID# 247685

Additional information (attach supporting information, e.g. borehole logs, records, etc. you consider relevant to your application)



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**NRCB USE ONLY**

**WATER WELL AND SURFACE WATER INFORMATION**

Well IDs: 262106, 288830, 2907963, and N0 7 (no log)

Surface water related concerns from directly affected parties or referral agencies:  YES  NO

Groundwater related concerns from directly affected parties or referral agencies:  YES  NO

**Water wells**  N/A

If applicable, exemption for 100 m distance requirements applied:  YES  NO Condition required:  YES  NO

**Surface water**  N/A

If applicable, exemption for 30 m distance requirements applied:  YES  NO Condition required:  YES  NO

**Water Well Exemption Screening Tool**  N/A

Water Well ID	Preliminary Screening Score	Secondary Screening Score	Facility

**Groundwater or surface water related comments:**

# Part 2 – Technical Requirements

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**NRCB USE ONLY**  
**ENVIRONMENTAL RISK SCREENING INFORMATION**

**ERST** for proposed facilities

Facility	Groundwater score	Surface water score	File number
Chicken layer barn	Low	Low	RA24046

**ERST** for existing facilities

Facility	Groundwater score	Surface water score	File number
Feedlot pens	Low	Low	RA23016
Catch basin	Low	Low	RA23016
Hog Lagoons	Low	Low	RA23016
Dairy lagoon	Low	Low	RA23016
Hog barns	Low	Low	RA23016
Dairy barn	Low	Low	RA23016

**ERST related comments:**

## Part 2 — Technical Requirements

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### DISTANCE OF ANY MANURE STORAGE FACILITY (EXISTING OR PROPOSED) TO NEIGHBOURING RESIDENCES

Neighbour name(s)	Legal land description	Distance (m)	NRCB USE ONLY				
			Zoning (LUB) category	MDS category (1-4)	Distance (m)	Waiver attached (if required)	Meets regulations
Herbert Smith	NE 2 47 10 W 4	1,600 M	Agriculture	1	1,700		Yes

### LAND BASE FOR MANURE AND COMPOST APPLICATION (complete only if an increase in livestock or manure production will occur)

Name of land owner(s)*	Legal land description	Usable area** (ha)	Soil zone ***	NRCB USE ONLY	
				Usable area (ha)	Agreement attached (if required)
Holtz Colony	A 11 06 47 09 W of 4	590 Acres	Black		
"	A 11 07 47 09 W of 4	610 Acres	"		
	A 11 05 47 09 W of 4	620 Acres	"		
	A 11 08 47 09 W of 4	624 Acres	"		
	A 11 09 47 09 W of 4	315 Acres	"		
615 acres			Total	1,238 hectares	(3,059 acres)

\* If you are **not** the registered landowner, you must attach copies of land use agreements signed by all landowners.

\*\* Available manure spreading area (excluding setback areas from residences, common bodies of water, water wells, etc. as identified in Agdex 096-5 *Manure Spreading Regulations*)

\*\*\* Brown, dark brown, black, grey wooded, or irrigated

**Additional information (attach any additional information as required)**

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## NRCB USE ONLY

### MINIMUM DISTANCE SEPARATION

Methods used to determine distance (if applicable): Google Earth

Margin of error (if applicable): \_\_\_\_\_

Requirements (m): Category 1: 737 Category 2: 983 Category 3: 1,228 Category 4: 1,965

Technology factor:  YES  NO

Expansion factor:  YES  NO

MDS related concerns from directly affected parties or referral agencies:  YES  NO

### LAND BASE FOR MANURE AND COMPOST APPLICATION

Land base required: 501 hectares (1,237 acres)

Land base listed: 1,238 hectares

Area not suitable: Excess land provided

Available area 1,238 hectares

Requirement met:  YES  NO

Land spreading agreements required:  YES  NO

Manure management plan:  YES  NO

If yes, plan is attached:

### PLANS

Submitted and attached construction plans:  YES  NO

Submitted aerial photos:  YES  NO

Submitted photos:  YES  NO

### GRANDFATHERING

Already completed:  YES  NO  N/A

If already completed, see Approval RA08046

# Part 2 – Technical Requirements

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**NRCB USE ONLY**

**ALL SIGNATURES IN FILE**

YES  NO

**DATES OF APPROVAL OFFICER SITE VISITS**

February 4, 2025	

**CORRESPONDENCE WITH MUNICIPALITIES AND REFERRAL AGENCIES**

Date deeming letters sent: January 17, 2025

**Municipality:** MD of Wainwright

letter sent       response received       written/email       verbal       no comments received

**Alberta Health Services:**  N/A

letter sent       response received       written/email       verbal       no comments received

**Alberta Environment and Parks:**  N/A

letter sent       response received       written/email       verbal       no comments received

**Alberta Transportation:**  N/A

letter sent       response received       written/email       verbal       no comments received

**Alberta Regulatory Services:**  N/A

letter sent       response received       written/email       verbal       no comments received

**Other:** Pine Cliff Energy and ATCO Gas and pipeline  N/A

letter sent       response received       written/email       verbal       no comments received

**Other:** \_\_\_\_\_  N/A

letter sent       response received       written/email       verbal       no comments received

# Part 2 – Technical Requirements

Application under the *Agricultural Operation Practices Act* for a confined feeding operation, manure collection area and/or manure storage facility(ies)

## SOLID MANURE, COMPOST, & COMPOSTING MATERIALS: Barns, feedlots, & storage facilities - Concrete liner

(complete a copy of this section for EACH barn, feedlot, and storage facility for solid manure, composting materials, or compost with a concrete liner)

Facility description / name (as indicated on site plan) 1. Layer Barn #2  
 2. \_\_\_\_\_

### Manure storage capacity

	Length (m)	Width (m)	Depth below grade to the bottom of the liner (m)	<b>NRCB USE ONLY</b> Estimated storage capacity (m <sup>3</sup> )
1.	300ft (232'6" (70.9 m))	100ft (111'6" (34 m))	0	
2.				
TOTAL CAPACITY				

I plan to use a short-term solid manure storage (STMS) as part of my manure storage and handling plan for this CFO. The AOPA requirements for STMS are set out in the NRCB Short-Term Solid Manure Storage Requirements Fact Sheet.

### Surface water control systems

Describe the run-on and runoff control system  
Barn with walls and roof

### Liner protection

Describe how the physical integrity of the liner will be maintained  
Inspect the floor when removing manure.

**NRCB USE ONLY**  
 Requirements met:  YES  NO

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## SOLID MANURE, COMPOST, & COMPOSTING MATERIALS: Barns, feedlots, & storage facilities - Concrete liner (cont.)

### Concrete liner details

Concrete thickness <b>6 inches</b>	Method of sulphate protection: <b>Type 50</b>
Concrete strength <b>25 mpa</b>	Concrete reinforcement size and spacing <b>10 mm 15 inches on centre</b>

Concrete requirements can be found in Technical Guideline Agdex 096-93

Guideline minimums:  
Solid manure: 25MPa (D)  
Solid manure (wet): 30MPa (C)  
Method of sulphate protection:  
Type 50 or Type 10 with fly ash or equivalent

### NRCB USE ONLY

Requirements met:  YES  NO  
Condition required:  YES  NO  
Report attached:  YES  NO

### Additional information (attach as required)

**NRCB USE ONLY**

Nine month manure storage volume requirements met  YES  YES With STMS  NO

Depth to water table:           > 3 m           Requirements met:  YES  NO

Depth to Uppermost groundwater resource:           18.6 m           Requirements met:  YES  NO

ERST completed:  see ERST page for details

**Surface water control systems**

Requirements met:  YES  NO Details/comments:

**Concrete liner details**

Leakage detection system required:  YES  NO If yes, please explain why.

# Holt Colony



M.D. of Wainwright, Alberta Free Run Layer Barn

**SYMBOL LEGEND**

CONSTRUCTION REFERENCE	CONSTRUCTION TAG
FINISH REFERENCE	EXTERIOR FINISH TAG
GRID NUMBER	GRID BUBBLE
DOOR REFERENCE	DOOR TAG
ROOM NUMBER	ROOM TAG
DESCRIPTION	ELEVATION DATUM
ELEVATION	BUILDING SECTION CALLOUT
SHEET NUMBER	ELEVATION CALLOUT
WINDOW REFERENCE	WINDOW TAG
ELEVATION	ELEVATION TAG
DRAWING TITLE	DRAWING TITLE

**Floor Plan**  
SCALE: 1/8" = 1'-0"

**DRAWING INDEX**

Sheet Number	Sheet Name	Current	Released
A000	Index	B	
A001	Building Plan	A	
A002	Grid Plan	B	
A003	Floor Plan Overall	B	
A004	Floor Plan Enlarged	B	
A005	Floor Plan Enlarged	B	
A006	Floor Plan Enlarged	B	
A007	Reinforced Ceiling Plan Overall	B	
A008	Building Sections	B	
A009	Building Sections	B	
A010	Exterior Elevation	A	
A011	Exterior Elevation	A	

Sheet Count: 12

Architect  
Stamp:  
**PRELIMINARY**  
NOT FOR CONSTRUCTION

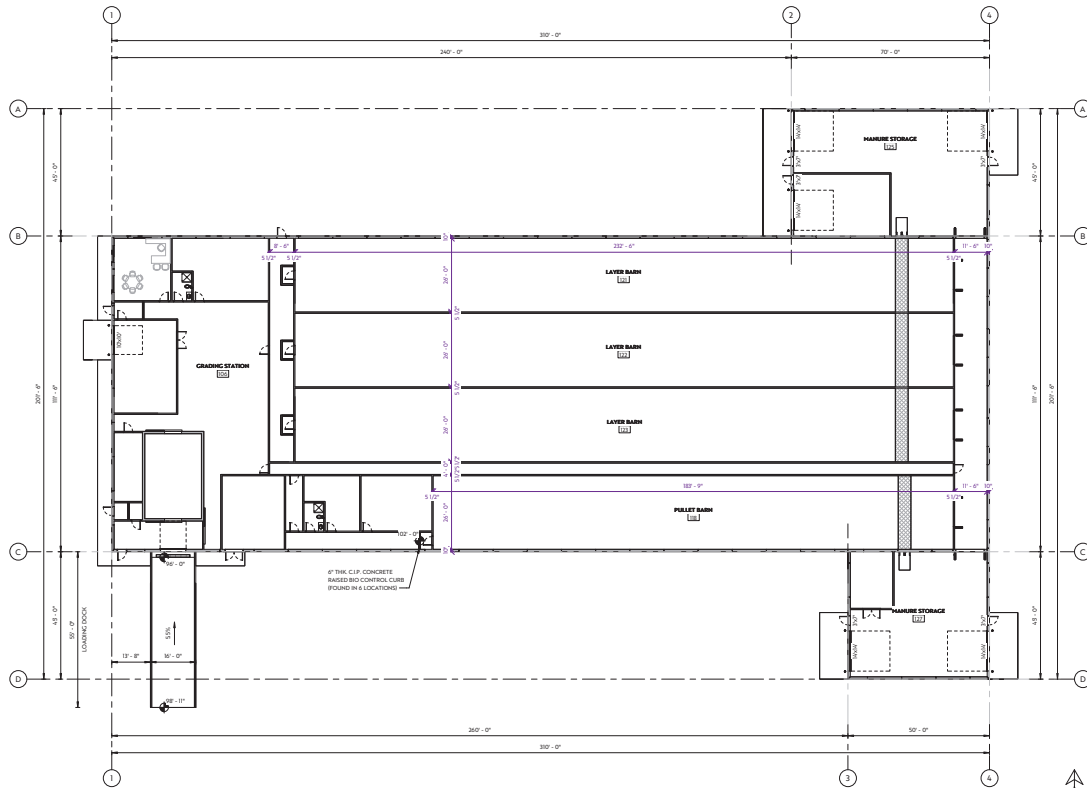
aggregate  
design studio ltd.  
**EAGLE BUILDERS**

Holt Colony  
Free Run Layer Barn  
M.D. of Wainwright, Alberta  
01-06-47-09 W4

PROJECT NO.	A24694
DATE	2024-10-18 10:57:23 AM
DRAWN BY	JC
CHECKED BY	JC
SHEET NAME	

Index  
**A000**





1 Overall Main Floor Plan  
1/8" = 1'-0"

**CONSTRUCTION LEGEND**

- NEW FRAMED WALL
- NEW PRECAST WALL
- EXISTING WALL
- DEMOLISHED WALL
- NEW DOOR
- EXISTING DOOR

**NOTE**

1. BATIO WALLS SHALL BE FRAMED TO UNDERSIDE OF RATED FLOOR ASSEMBLY OR ROOF ASSEMBLY.
2. ADD BLOCKING BETWEEN STUDS AS REQUIRED TO SUPPORT ALL EDGES OF 1/2" TYPE 'N' GYPSUM BOARD.
3. FIRE SEPARATION AS SHOWN:
  - 0 HB
  - 1 HB
  - 2 HB
  - 3 HB
4. ALL WASHROOMS AND JANITOR ROOMS TO RECEIVE IMPROVED DRAINAGE FLOOR AND WALL FINISH UP TO 5'-0" A.F.F.
5. ALL TIEED WALLS ADJACENT TO PRECAST WALLS TO BE CONSTRUCTED AS:
  - 1" CAP
  - 1 1/2" STEEL STUDS @ 24" C/C
  - 1/2" GYPSUM BOARD
6. FURNITURE NOT INCLUDED
7. MILLWORK BY MILLWORK SUPPLIER

Architect

Stamp

**PRELIMINARY**  
NOT FOR CONSTRUCTION

aggregate  
design studio ltd.  
**EAGLE BUILDERS**

**Holt Colony**  
**Free Run Layer Barn**  
M.D. of Wainwright, Alberta

01-06-47-09 W4

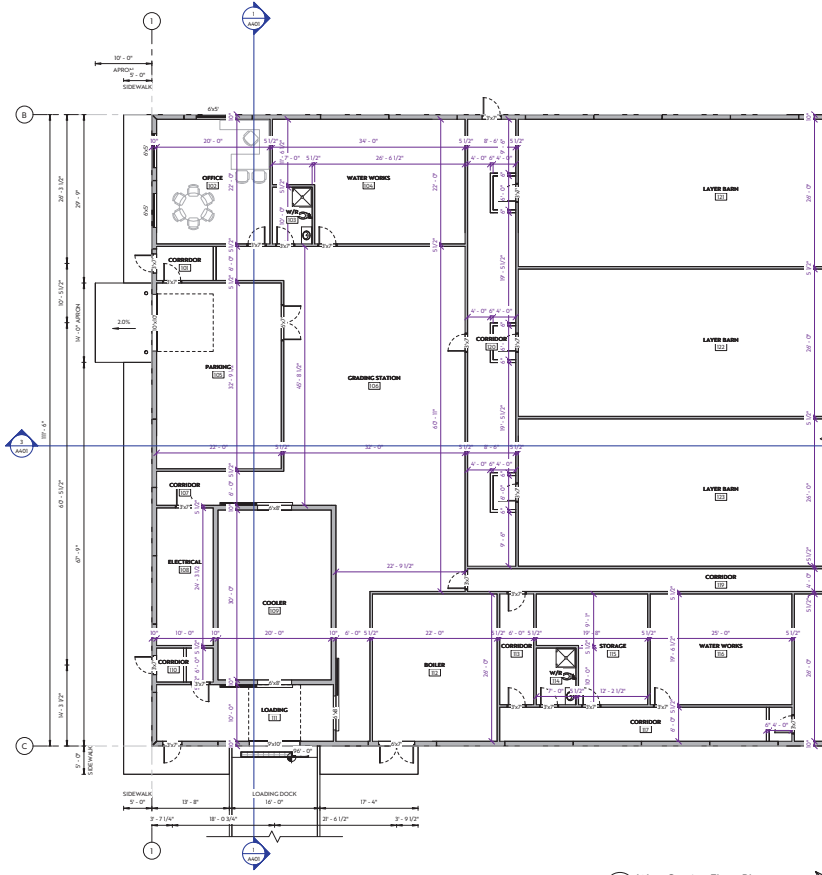
DATE	DESCRIPTION
11/11/2024	ISSUED FOR PERMITTING
11/11/2024	ISSUED FOR PERMITTING
11/11/2024	ISSUED FOR PERMITTING

Project No.	A24594
Date	2024-10-18 13:23 AM
Drawn by	JC
Checked by	JC
Sheet Name	

Floor Plan  
Overall

**A201**

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS, HEIGHTS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. VERIFY ANY DIMENSIONS OR HEIGHTS TO THE ADJACENT PROPERTY. ALL WORK SHALL COMPLY WITH THE MOST RECENT EDITIONS OF THE APPLICABLE BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES. THE RESULTS OF VISUAL CHECKING AND SHALL NOT BE REPRESENTED OR BE RESPONSIBLE FOR THE WRITTEN CONTENT OF THE DRAWING.



1 West Service Floor Plan  
1/8" = 1'-0"



**CONSTRUCTION LEGEND**

	NEW FRAMED WALL
	NEW PRECAST WALL
	EXISTING WALL
	DEMOLISHED WALL
	NEW DOOR
	EXISTING DOOR

- NOTE**
1. BATIO WALLS SHALL BE FRAMED TO UNDERSIDE OF RATED FLOOR ASSEMBLY OR ROOF ASSEMBLY.
  2. ADD BLOCKING BETWEEN STUDS AS REQUIRED TO SUPPORT ALL EDGES OF 1/2" TYPE 'N' CHIPSUM BOARD.
  3. FIRE SEPARATION AS SHOWN:
    - 0 HR
    - 3/4 HR
    - 1 HR
    - 2 HR
    - 4 HR
  4. ALL WASHROOMS AND JANITOR ROOMS TO RECEIVE IMPERVIOUS DURABLE FLOOR AND WALL FINISH UP TO 5'-0" A.F.F.
  5. ALL TILED WALLS ADJACENT TO PRECAST WALLS TO BE CONSTRUCTED AS:
    - 1" GAP
    - 1/2" STEEL STUDS @ 24" O.C.
    - 1/2" OSB/CMU BOARD
  6. FURNITURE NOT INCLUDED
  7. MILLWORK BY MILLWORK SUPPLIER

Architect  
Stamp  
**PRELIMINARY**  
NOT FOR CONSTRUCTION

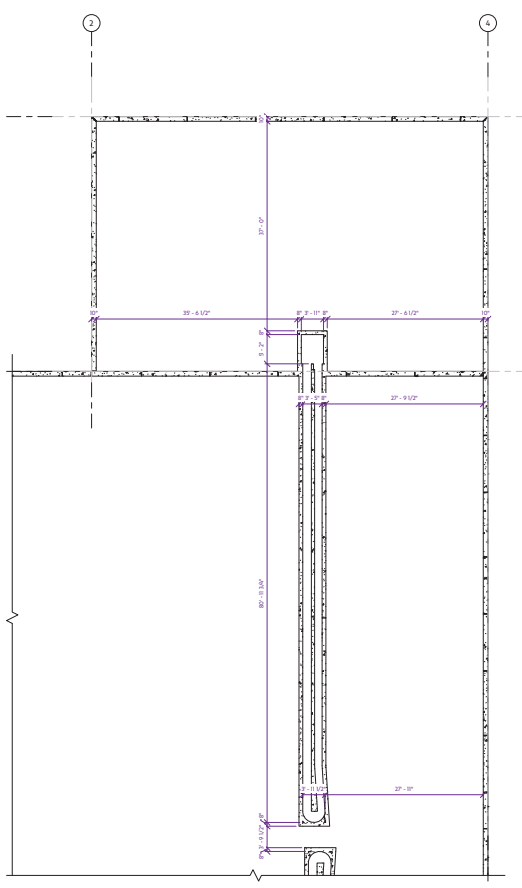
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**EAGLE BUILDERS**

**Holt Colony Free Run Layer Barn**  
M.D. of Wainwright, Alberta  
01-06-47-09 W4

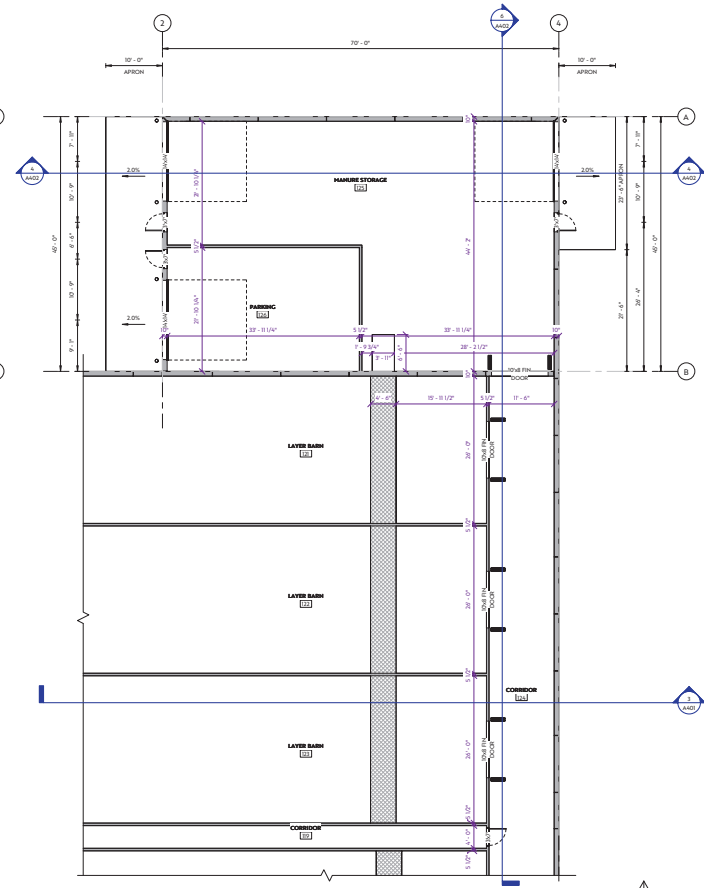
NO.	DATE	DESCRIPTION
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Project No. A24594  
Date: 2024-01-15 13:23 AM  
Drawn by: JC  
Checked by: JC  
Sheet Name:

Floor Plan  
Enlarged  
**A202**



2 North Trench Floor Plan  
A200 1/8" = 1'-0"



1 North Storage Floor Plan  
A200 1/8" = 1'-0"

- CONSTRUCTION LEGEND**
- NEW FRAMED WALL
  - NEW PRECAST WALL
  - EXISTING WALL
  - DEMOLISHED WALL
  - NEW DOOR
  - EXISTING DOOR
- NOTE**
1. EXISTING WALLS SHALL BE FRAMED TO UNDERSIDE OF RATED FLOOR ASSEMBLY OR ROOF ASSEMBLY.
  2. ADD BLOCKING BETWEEN STUDS AS REQUIRED TO SUPPORT ALL EDGES OF 1/2" TYPE 'N' GYPSUM BOARD.
  3. FIRE SEPARATION AS SHOWN:
    - 0 HB
    - 3/4 HB
    - 1 HB
    - 2 HB
    - 3 HB
    - 4 HB
  4. ALL WASHROOMS AND JANITOR ROOMS TO RECEIVE IMPERVIOUS DURABLE FLOOR AND WALL FINISH UP TO 5'-0" A.F.F.
  5. ALL TILED WALLS ADJACENT TO PRECAST WALLS TO BE CONSTRUCTED AS:
    - 1" GAP
    - 1/2" STEEL STUDS @ 24" C/C
    - 1/2" GYPSUM BOARD
  6. FURNITURE NOT INCLUDED
  7. MILLWORK BY MILLWORK SUPPLIER



Architect

Stamp

**PRELIMINARY**  
NOT FOR CONSTRUCTION

aggregate  
design studio ltd.

**EAGLE BUILDERS**

**Holt Colony Free Run Layer Barn**  
M.D. of Wainwright, Alberta

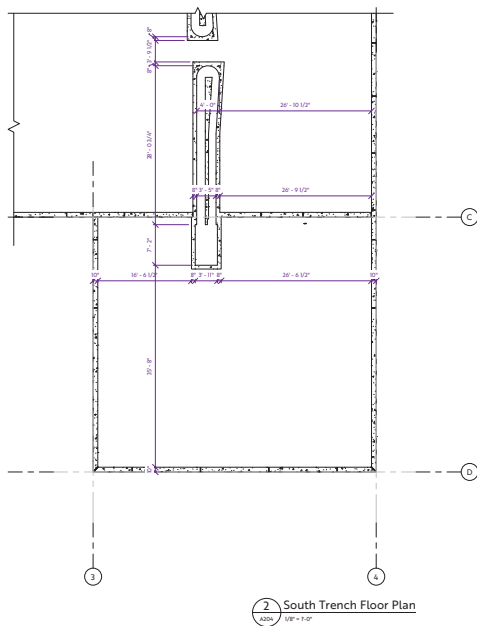
01-06-47-09 W4

PROJECT NO.	A24594
DATE	2024-01-18 13:23 AM
DRAWN BY	JC
CHECKED BY	JC
SHEET NAME	

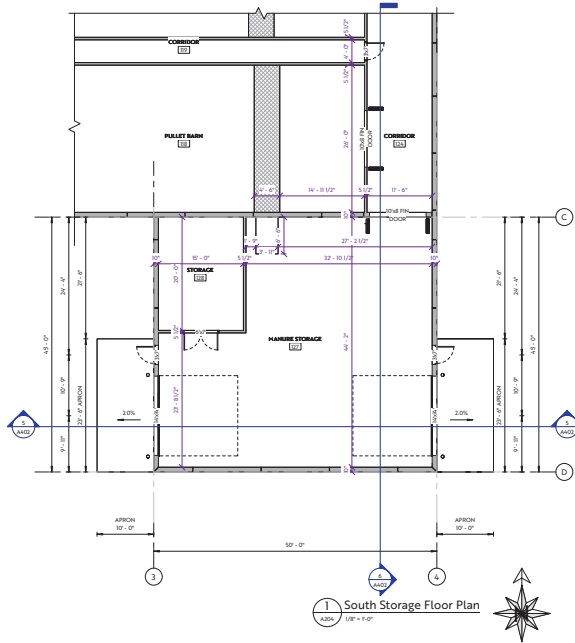
Floor Plan  
Enlarged

**A203**

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS, HEIGHTS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. VERIFY ANY DIMENSIONS OR HEIGHTS TO THE ARCHITECT'S INTENT. ALL WORK SHALL COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ANY OTHER CODES OR REGULATIONS. THE RESULTS OF VISUAL CHECKING AND SHALL NOT BE REPRESENTED OR BE RESPONSIBLE FOR THE ACCURACY OR THE COMPLETION OF THE CONSTRUCTION.



2 South Trench Floor Plan  
A204  
1/8\"/>



1 South Storage Floor Plan  
A204  
1/8\"/>

**CONSTRUCTION LEGEND**

- NEW FRAMED WALL
- NEW PRECAST WALL
- EXISTING WALL
- DEMOLISHED WALL
- NEW DOOR
- EXISTING DOOR

**NOTE**

1. BATIO WALLS SHALL BE FRAMED TO UNDERSIDE OF RATED FLOOR ASSEMBLY OR ROOF ASSEMBLY.
2. ADD BLOCKING BETWEEN STUDS AS REQUIRED TO SUPPORT ALL EDGES OF 1/2" TYPE 'N' CHIPSUM BOARD.
3. FIRE SEPARATION AS SHOWN:
  - 0 HR
  - 1 HR
  - 2 HR
  - 4 HR
4. ALL WASHROOMS AND JANITOR ROOMS TO RECEIVE IMPROVED DURABLE FLOOR AND WALL FINISH UP TO 5'-0" A.F.F.
5. ALL TILED WALLS ADJACENT TO PRECAST WALLS TO BE CONSTRUCTED AS:
  - 1" GAP
  - 1/2" STEEL STUDS @ 24" C/C
  - 1/2" GYPSUM BOARD
6. FURNITURE NOT INCLUDED
7. MILLWORK BY MILLWORK SUPPLIER

Architect

Stamp

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design studio ltd.  
**EAGLE BUILDERS**

**Holt Colony**  
**Free Run Layer Barn**  
M.D. of Wainwright, Alberta

01-06-47-09 W4

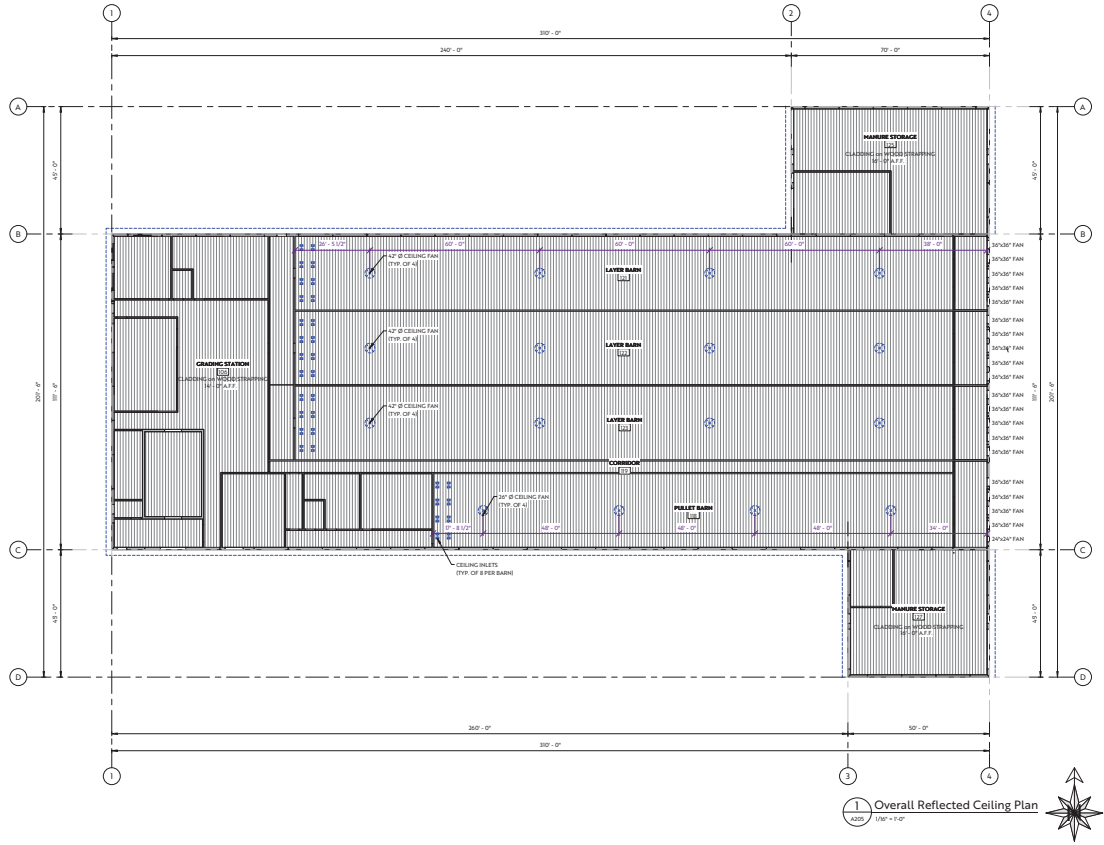
NO.	DATE	DESCRIPTION
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2	2024.01.15	ISSUED FOR PERMIT
3	2024.01.15	ISSUED FOR PERMIT
4	2024.01.15	ISSUED FOR PERMIT

Project No.	A24594
Date	2024-01-15 13:23 AM
Drawn by	JC
Checked by	JC
Sheet Name:	

Floor Plan  
Enlarged

**A204**

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS, HEIGHTS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. VERIFY ANY DIMENSIONS AND HEIGHTS TO THE ADJACENT PROPERTY. ALL WORK SHALL COMPLY WITH THE MOST RECENT EDITIONS OF THE APPLICABLE BUILDING CODE AND ANY OTHER APPLICABLE REGULATIONS. THE CLIENT'S RESPONSIBILITY IS TO OBTAIN ALL NECESSARY PERMITS AND TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS TO DESIGN AND DETAIL THE WORK IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE AND ANY OTHER APPLICABLE REGULATIONS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT.



1 Overall Reflected Ceiling Plan  
1/8" = 1'-0"

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**EAGLE BUILDERS**

**Holt Colony**  
Free Run Layer Barn  
M.D. of Wainwright, Alberta  
01-06-47-09 W4

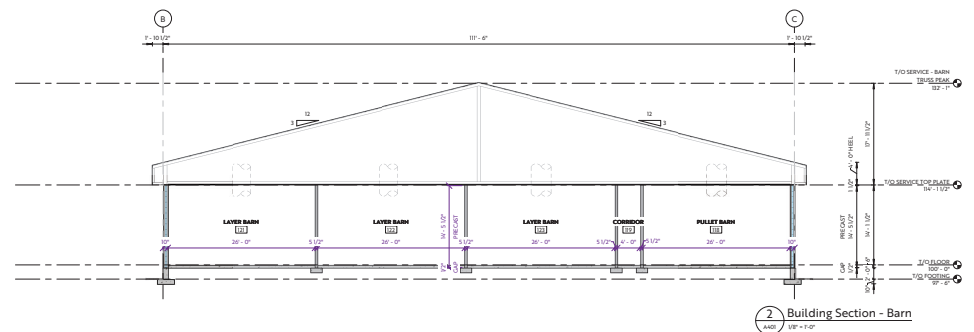
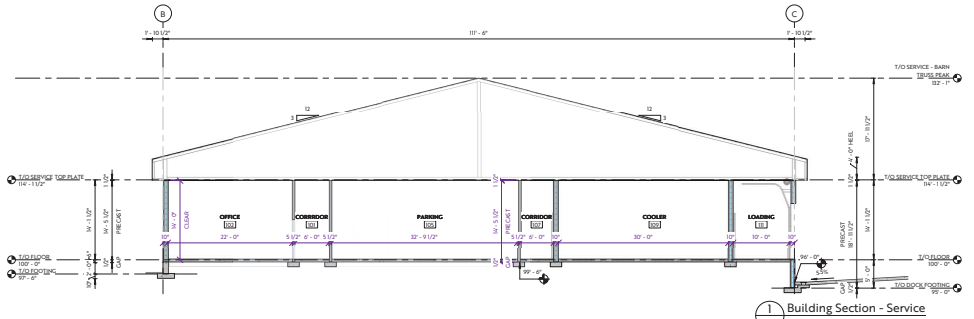
NO.	REVISION	DATE
1	ISSUED FOR PERMIT	2024.12.12
2	ISSUED FOR PERMIT	2024.12.12
3	ISSUED FOR PERMIT	2024.12.12

Project No. A24594  
 Date: 2024-12-18 03:23 AM  
 Drawn by: JC  
 Checked by: JC  
 Sheet Name:

Reflected Ceiling Plan Overall

**A205**

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS, NOTES AND SCHEDULES FOR CORROSION RESISTANCE OF MATERIALS. VERIFY ANY DIMENSIONS AND NOTES TO THE ARCHITECT'S INTENT. ALL WORK SHALL COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ANY OTHER REGULATORY AGENCIES. THE SCALES OF THIS DRAWING AND SHALL NOT BE REPRESENTED OR REPRODUCED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE CONSULTANT.



DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS, DIMENSIONS AND ELEVATIONS FOR CORROSION PROTECTION OF STEEL. VERIFY ALL DIMENSIONS AND ELEVATIONS FOR THE ADJACENT STRUCTURE. ALL WORK SHALL COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ALL OTHER GOVERNING REGULATIONS. THE BLDG. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS OF THE CONSTRUCTION.

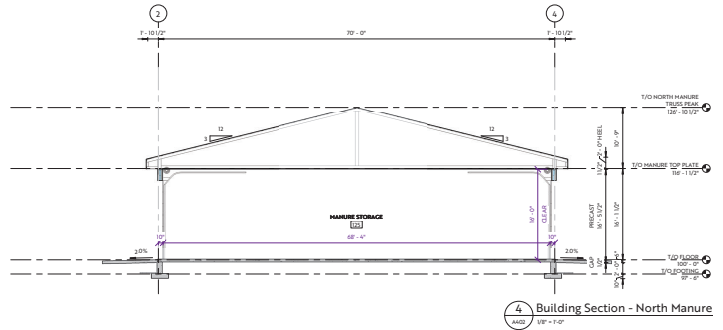
Architect  
 Stamp  
**PRELIMINARY**  
 NOT FOR CONSTRUCTION  
 aggregate  
 design studio ltd.  
 EAGLE  
 BUILDERS

**Holt Colony**  
**Free Run Layer Barn**  
 M.D. of Wainwright, Alberta  
 01-06-47-09 W4

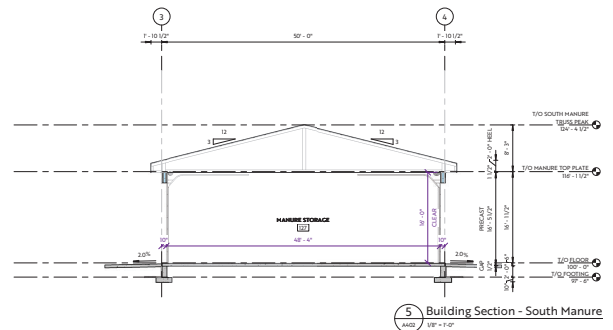
NO.	DATE	DESCRIPTION
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2	2024.12.18	ISSUED FOR PERMIT REVIEW
3	2024.12.18	ISSUED FOR PERMIT REVIEW

Project No: A24594  
 Date: 2024-12-18 03:23 AM  
 Drawn by: JC  
 Checked by: JC  
 Sheet Name:

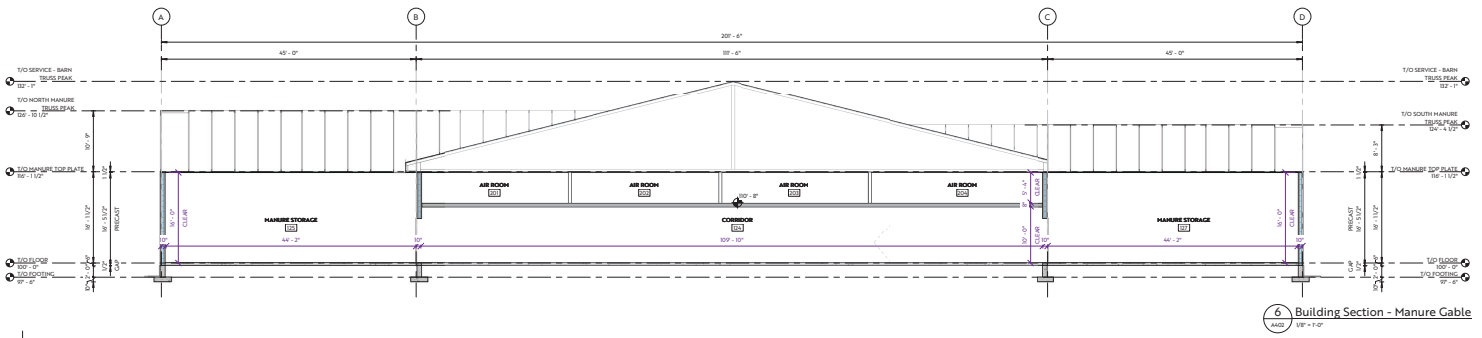
Building Sections  
**A401**



4 Building Section - North Manure  
ACQ 1/8" x 1'-0"



5 Building Section - South Manure  
ACQ 1/8" x 1'-0"



6 Building Section - Manure Gable  
ACQ 1/8" x 1'-0"

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**EAGLE BUILDERS**

Holt Colony  
Free Run Layer Barn  
M.D. of Wainwright, Alberta  
01-06-47-09 W4

PROJECT NO.	A24694
DATE	2024-12-18 13:24:40 AM
DRAWN BY	JC
CHECKED BY	JC
SHEET NAME	Building Sections
<b>A402</b>	

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS, HEIGHTS AND LEVELS FOR CORROBORATION OF WORK. VERIFY ANY DIMENSIONS OR HEIGHTS TO THE ADJACENT PROPERTY. ALL WORK-HOLD COMPLIANT WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ALL OTHER GOVERNING AUTHORITIES. THE BUILDING DRAWING AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE CONSULTANT.



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**EAGLE**  
BUILDERS

**Holt Colony  
Free Run Layer Barn**  
M.D. of Wainwright, Alberta  
01-06-47-09 W4

NO. 1	DATE	DESCRIPTION
1	2024.12.12	ISSUED FOR PERMITTING

Project No: A24694  
Date: 2024-12-18 10:52:23 AM  
Drawn by: JC  
Checked by: JC  
Sheet Name:

Exterior  
Render

**A701**

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS, HEIGHTS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. VERIFY ANY DIMENSIONS OR CHANGES TO THE SUBJECT PRESENTED ALL WORK HAS COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ALL OTHER GOVERNING REGULATIONS. THE BILLS OF MATERIALS AND SHALL NOT BE REPRESENTED OR BE RESPONSIBLE FOR THE WRITTEN CONTENT OF THE CONTRACT.





Architect

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**PRELIMINARY**  
NOT FOR CONSTRUCTION

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design studio ltd.  
**EAGLE BUILDERS**

**Holt Colony  
Free Run Layer Barn**  
M.D. of Wainwright, Alberta

01-06-47-09 W4

NO. 1	DATE	2024.12.12
NO. 2	DATE	2024.12.12
NO. 3	DATE	2024.12.12
NO. 4	DATE	2024.12.12

Project No: A24694  
Date: 2024-12-18 10:57:23 AM  
Drawn by: JC  
Checked by: JC  
Sheet Name:

Exterior  
Render

**A702**

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS, HEIGHTS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. VERIFY ANY DIMENSIONS OR HEIGHTS TO THE ARCHITECT'S INTENT. ALL WORK MUST COMPLY WITH THE MOST RECENT EDITIONS OF THE APPLICABLE BUILDING CODE AND ALL OTHER GOVERNING AUTHORITIES. THE BILLS OF MATERIALS AND SHALL NOT BE REPRESENTED OR BE RESPONSIBLE FOR THE WRITTEN CONTENT OF THE CONTRACT.